

Guidelines for New/Infill Construction



Historic District Design Guidelines

General Principles

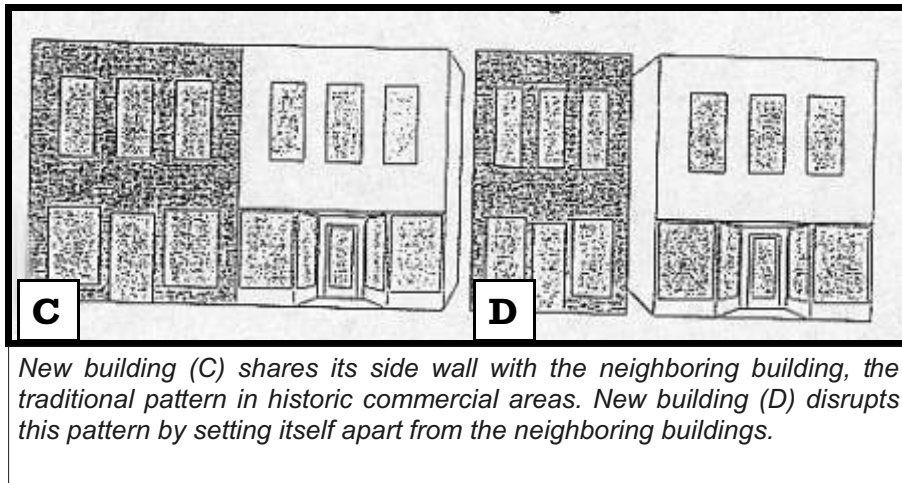
Historic downtowns are dynamic centers of commerce which continue to meet the needs of the community. Meeting these needs at times may involve new construction. When constructing a new building within a historic area or constructing an addition to a historic property, it is important to respect the elements which contribute to the visual character of the area.

Compatible new construction should be designed so that it utilizes these elements, but also that it may be differentiated from historic examples. Additions to historic properties should be designed so that if removed in the future, the historic integrity would be unimpaired. The factors which should be considered during new construction include placement, orientation, scale, form, façade, elements and materials.

Placement

Guideline 1: Similarity of placement is an important visual characteristic of an historic area and should be preserved.

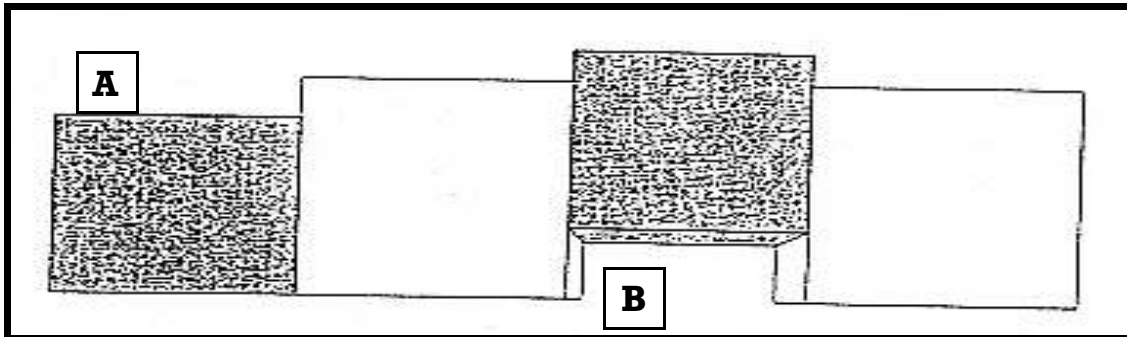
1A. New buildings should conform to historic spacing patterns.



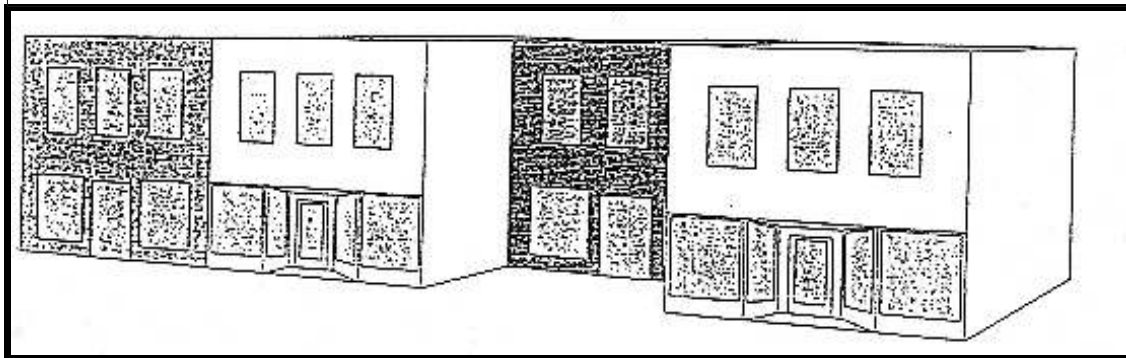
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Placement (continued)

- 1B. New buildings should have setbacks which are equal to nearby historic buildings.



New building (A) follows the traditional setback of its historic neighbors while new building (B) disrupts the pattern by recessing its façade wall from the sidewalk line.



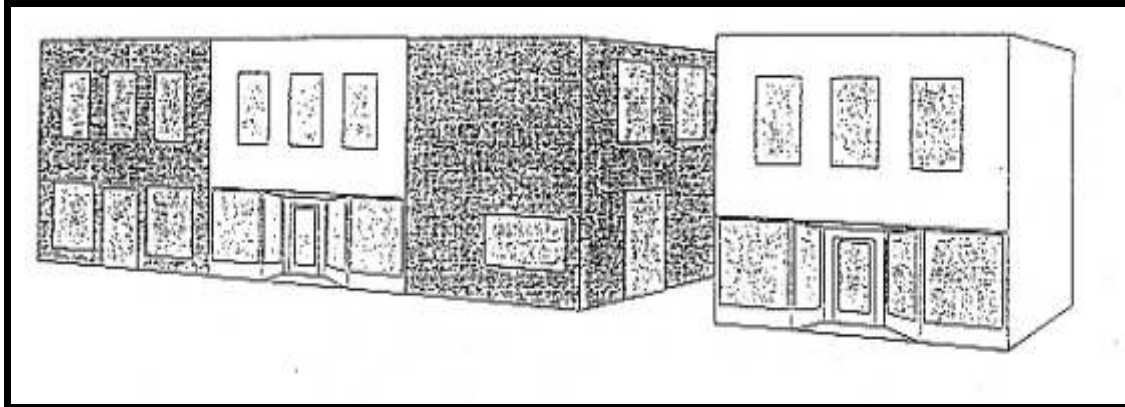
- 1C. New additions to historic or existing commercial buildings should not be placed on the front of the building.

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Orientation

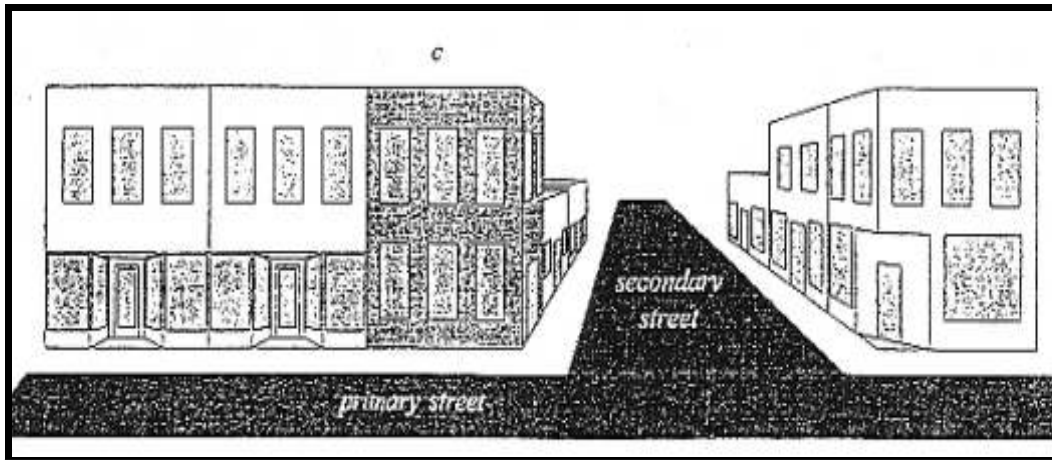
Guideline 1: Similarity of orientation is an important visual characteristic of historic commercial areas and should be preserved.

- 1A. New buildings should have the same orientation as nearby historic examples and should not disrupt the visual storefront flow of a primary street.



New building (A) follows the traditional orientation of the streetscape while new building (B) disrupts the pattern by using a non-traditional orientation.

- 1B. New additions or alterations should not change the orientation of existing historic buildings.



In this case the new building (C) awkwardly faces the secondary street rather than the primary street of the area like the historic buildings. Many corner buildings have corner entrances, which is a good example for new buildings to follow.

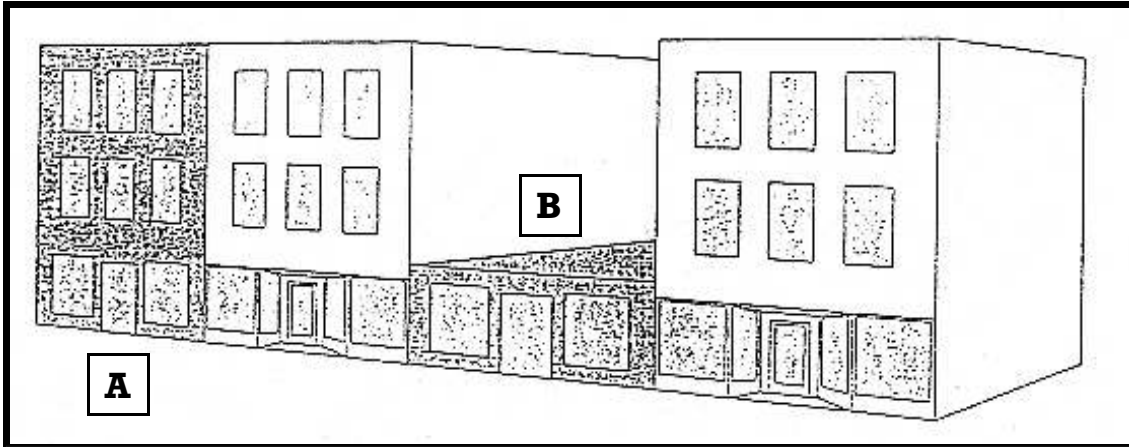
- 1C. Additions of new side or rear entrances will be allowed as long as the primary historic entrance is preserved.

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Scale

Guideline 1: Similarity of scale is an important visual characteristic of historic areas and should be preserved

1A. New buildings should reflect the scale of surrounding historic buildings.



New building (A) conforms to the established height of the block while new building (B) disrupts the pattern.

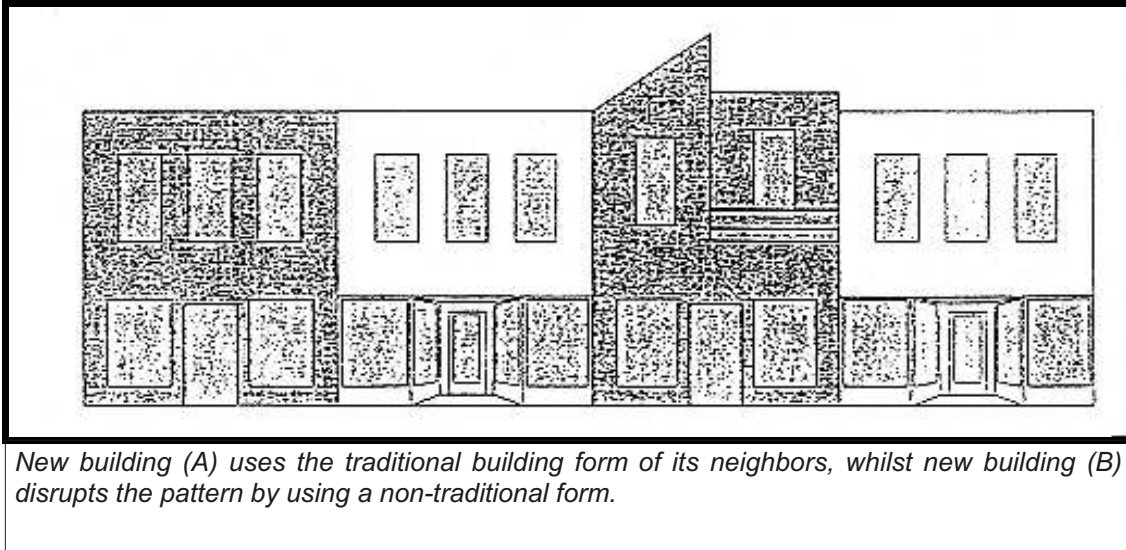
- 1B. The height of new construction cannot vary more than one story from any adjoining building and in accordance with City codes cannot exceed 3 stories (35 feet) in the C-1 commercial district.
- 1C. New additions should be in proportion to and discernable from the existing structure.
- 1D. Removing extant buildings that adjoin another structure in order to create a walk-through, drive-through, or parking spaces disrupts the flow of the streetscape and will not be allowed in the downtown district.
- 1E. New buildings, occupying multiple lots should respect the rhythm of existing façade widths. Vertical divisions can be established using architectural details, materials and colors.

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Form

Guideline 1: Similarity of form is an important visual characteristic and should be preserved

- 1A. New buildings should reference the size, shape, and composition of features used on surrounding historic buildings.

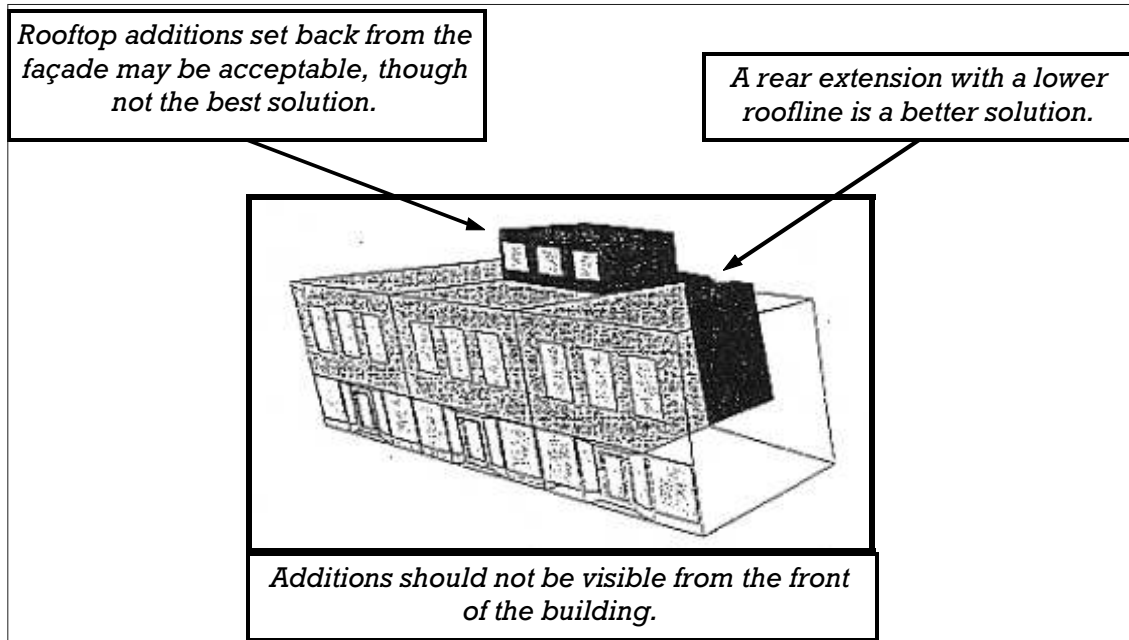


- 1B. New additions should duplicate the roof shape, roof pitch, and roof eave of surrounding buildings.
- 1C. Foundation materials, where visible, should conform to surrounding components and should reflect the foundation height of adjoining structures.

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Form (continued)

- 1D. New construction on roof-top additions to an existing building should be located at the rear, should not be visible from the street façade, and should not be more than one story higher than the current structure or adjoining buildings.

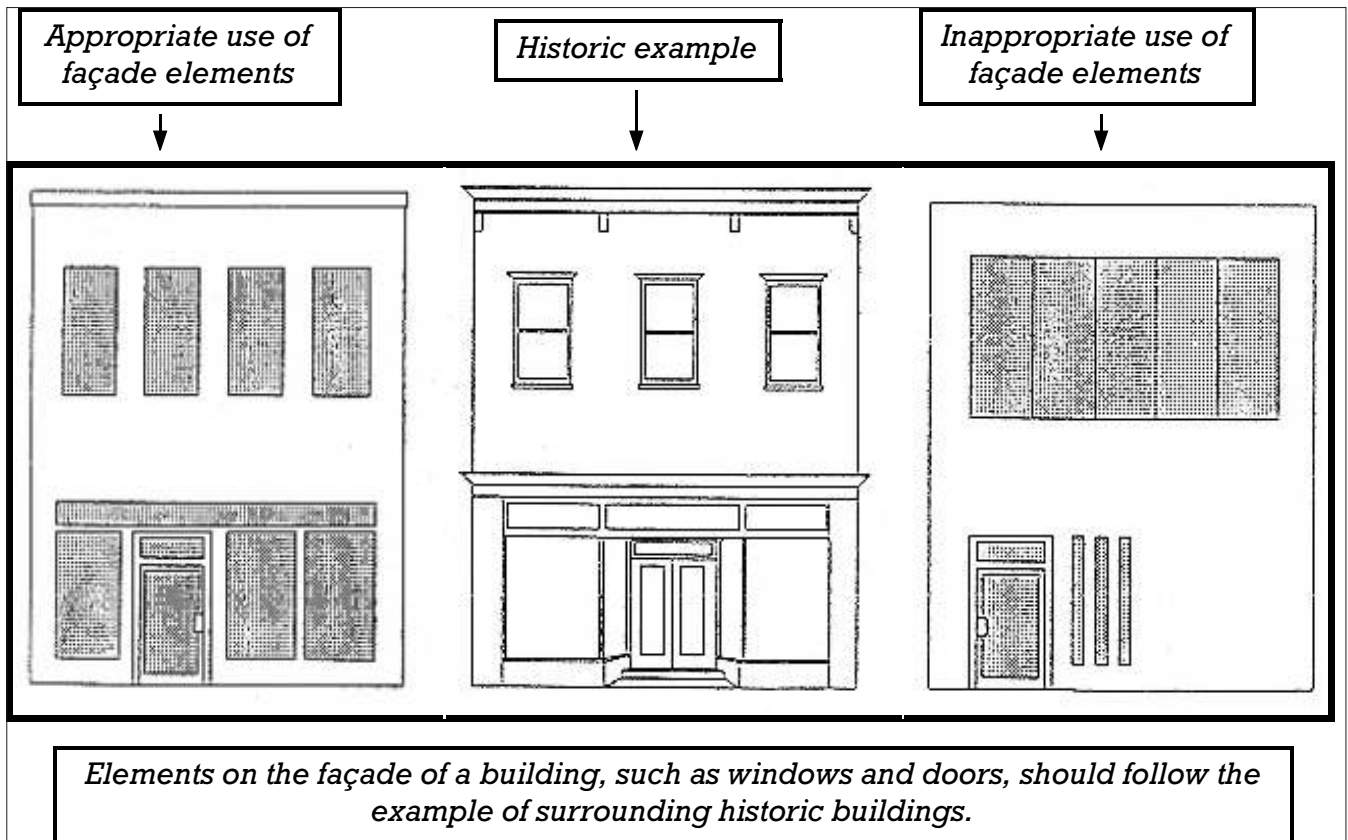


- 1E. Rear additions should not obscure the original form of an historic building.
- 1F. Materials used in additions shall be similar to those used on the existing structure and should be of the same style and mass as the original structure.

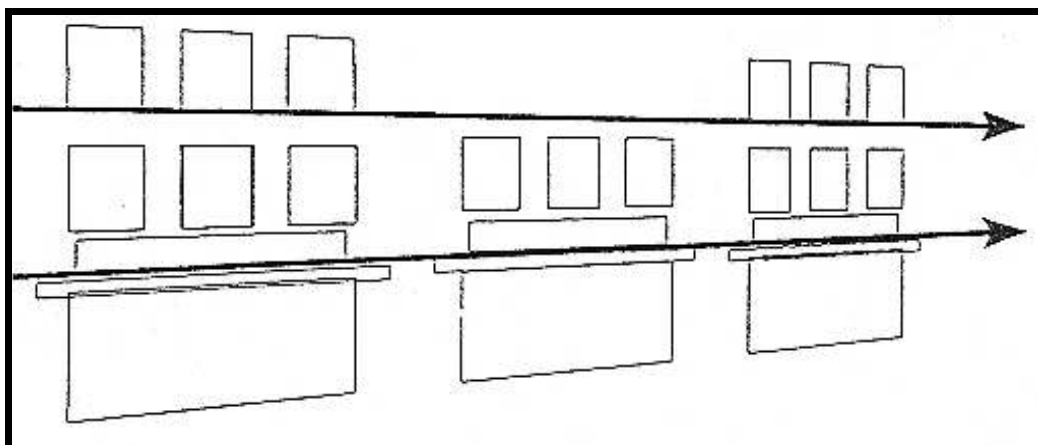
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Facade Elements

Guideline 1: Façade elements are an important visual characteristic of an historic area and should be referenced for new construction, additions and street side remodeling.



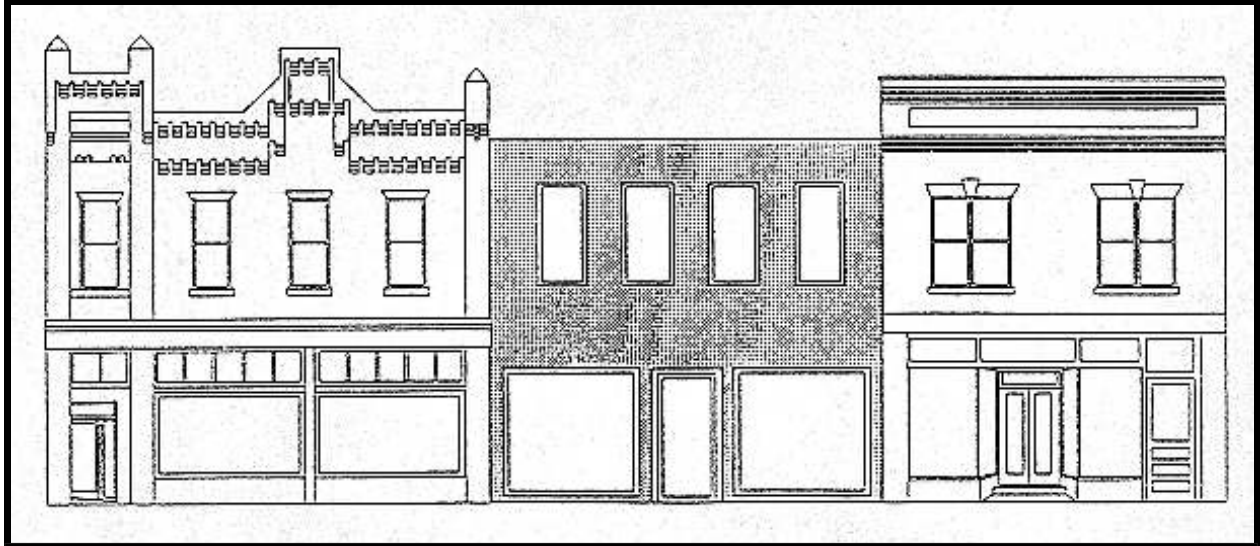
- 1A. New additions and remodeling should not disrupt the pattern of façade elements on the original building.
- 1B. New buildings and infill construction should carefully balance solid and void and continue the rhythm along the streetscape to complement surrounding buildings.



Historic District Design Guidelines

Materials

Guideline 1: Similarity of building materials and ornamentation are important visual characteristics and should be preserved.



New buildings with materials inconsistent with the district negatively impact the historic character of the area.

- 1A. Building materials uncommon to an area should not be used on new construction or additions made to an existing structure.
- 1B. Exterior materials should closely resemble those of surrounding historic examples.
- 1C. On additions, exterior materials must closely match those of the original building.
- 1D. Driviv will not be used in the historic district on new construction or historic buildings.
- 1E. Ornamentation for new construction, additions, or street-side remodels should not exceed the degree of ornamentation found in the surrounding area or the amount found on the original structure.
- 1F. Replacing missing ornamentation on a historic building is encouraged.
- 1G. Decorative elements made of non-historic materials may not be appropriate replacements for missing features.
- 1H. The color of a building's trim, decorative features and paint will not be regulated by the HZC.