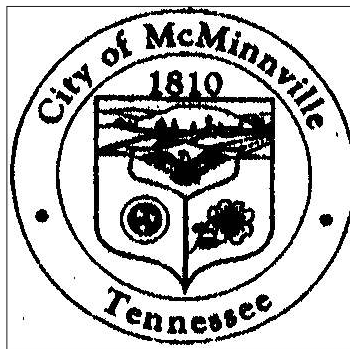


## Rehabilitation Guidelines for Existing Commercial / Institutional Buildings



# Historic District Design Guidelines

---

## General Principles

Preservation and rehabilitation of historic commercial buildings allows them to continue to contribute to the social and economic vitality of the community. A sensitive approach to historic design and materials permits contemporary uses whilst preserving those elements of the building which are significant to its historical character. Often dictated by architectural style or building type, these elements are an integral part of the visual character of each building and its surrounding area.

The elements which should be preserved and maintained during repair and rehabilitation include roofs, entrances, windows and window features, storefronts, awnings, historic building materials, ornamentation, and signs.

Non-historic buildings can increase their compatibility by following the **Guidelines for New Construction** during repair and rehabilitation projects.

### Rehabilitation as a Treatment

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions whilst preserving those portions or features which convey its historical, cultural, or architectural values.

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, rehabilitation may be considered as a treatment. Prior to undertaking work, a documentation plan for rehabilitation should be developed.

## Materials

Much of a downtown's visual character rests with the type of original materials used in construction. The style and period of architecture often informed the type of construction materials used, but availability usually dictated the type of products chosen by early, local builders.

Nineteenth-century vernacular, commercial structures traditionally used brick with decorative wood or cast iron storefronts, but 20th century architectural styles included the use of diverse construction materials, including stone, stucco, concrete, tile, terra cotta, metal and decorative glass.

Contemporary restoration projects should include an evaluation of all original building materials. This evaluation process should include a visual inventory of elements that were added over the years. Later remodeling materials may be recognized as historic and may be worth preserving.

It must be noted that all historic materials should be treated with care and that replacement with modern substitute or embellishments may seriously alter the historic façade of a building and jeopardize the integrity of that building and the historic district.

# Historic District Design Guidelines

---

## Materials (continued)

**Guideline 1: All historic building materials that contribute to the architectural integrity of a structure should be maintained and preserved.**

- 1A. If replacement of a building material is necessary, replace only the deteriorated element, rather than the entire element.
- 1B. Replacement building materials should match the original in size, scale, proportion, detail and texture.
- 1C. Substitute materials, when exposed to climate and temperature, should expand, contract and weather at a rate similar to the original.
- 1D. The covering of historic materials with modern elements is inappropriate and should be avoided.
- 1E. Conservation, repair and maintenance of historic materials is often more cost-effective than modern replacements and will extend the life of the structure.

**Guideline 2: Always use the gentlest means possible to clean any historic building materials.**

- 2A. Clean historic materials only if it is necessary to remove soiling, to prevent further deterioration, or as part of a qualified restoration process.
- 2B. Never sandblast historic materials.

**Guideline 3: Always use the gentlest means to repair any historic building materials.**

- 3A. Care should be taken to remove any loose mortar.
- 3B. Replacement mortar should be similar in composition to the original.
- 3C. Portland-based cement is usually not an appropriate replacement mortar for pre-WWI structures.
- 3D. Duplicate the width and joint profile of all original mortar joints.
- 3E. Maintain a sound paint film, preceded by a suitable primer coat on materials to prevent deterioration.
- 3F. Masonry coatings, water proofing or water repellents should not be used as a substitute for repainting or repair.

**Guideline 4: Paint colors will not be regulated by the HZC.**

- 4A. The painting of original, unpainted brick or stone materials is not recommended.
- 4B. Complete removal of paint from some stone, brick and masonry surfaces is not recommended unless those original surfaces were intended to be exposed.

**Guideline 5: The replacement or duplication of missing historic building materials is recommended.**

- 5A. The use of modern, resin based or aluminum clad products as duplicates of certain missing materials (such as limestone window hoods) will be allowed.
- 5B. Period salvaged historic materials may be used as replacements for missing structural elements.
- 5C. The use of salvaged or reproduction materials to recreate a fake theme or façade is not recommended.

# Historic District Design Guidelines

## Roofs

**Guideline 1: Roof shape, design, and materials should be maintained and preserved whenever possible.**

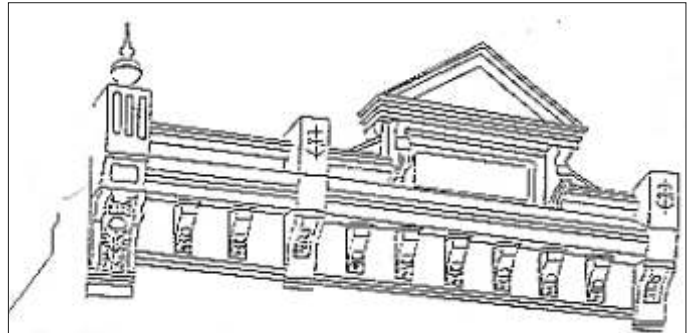
- 1A. During roof repair and replacement, new materials should match original materials.
- 1B. New roofs will not rise above the street facade on commercial buildings.
- 1C. Roof repairs visible from rear entrances should not detract from overall appearance of the building.
- 1D. Modern roofing materials may be allowed if the historical integrity of the building is not compromised and such repairs are not visible from the front facade.



*Adding a visible gable roof disrupts the traditional roof line of commercial buildings.*

**Guideline 2: Secondary features and distinctive materials which contribute to design should be retained.**

- 2A. Chimneys should be maintained and preserved, never removed.
- 2B. Preserving skylights is recommended, whenever possible.
- 2C. Roof parapets, cornices and pediments should not be altered when making roof repairs.
- 2D. Modern aluminum gutters will not be allowed on front facades of commercial structures.



*Roof features such as parapets, pediments, cornices, and finials should be maintained and preserved.*

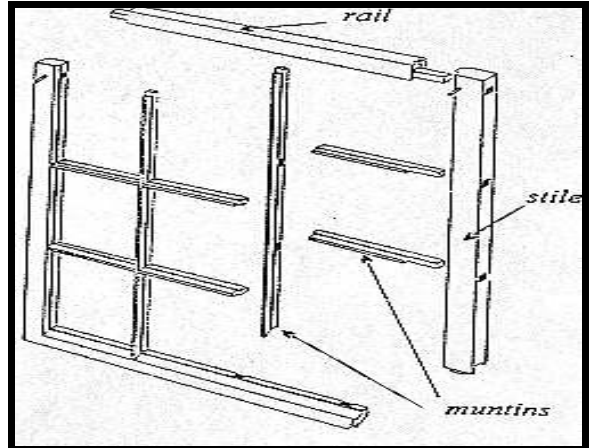
# Historic District Design Guidelines

## Windows

Historic windows are constructed of several components, including rails, stiles, sills, and sashes.

### Guideline 1: Historic windows should be repaired rather than replaced.

- 1A. Damaged windows should be repaired by replacing the affected components and restoring the functional elements.
- 1B. Replaced sections should be of the same material and dimensions as the original.
- 1C. Modern materials may be used but should be in the same style, mass, and color as the original.
- 1D. Whenever possible, remove inappropriate replacement windows and replace with new windows appropriate to the design of the building.



*Replace only deteriorated sections rather than the entire window.*

### Guideline 2: Original decorative elements should be retained.

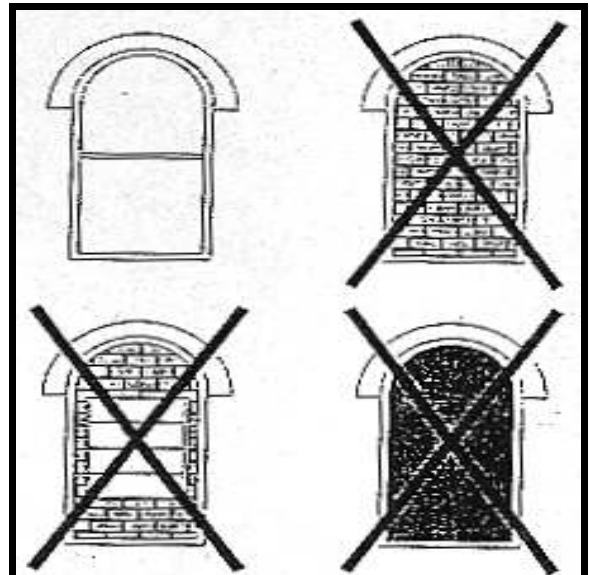
- 2A. Replacement of historical elements already removed by earlier remodeling projects is encouraged.
- 2B. Decorative windows should not be added to buildings which did not historically have them.
- 2C. Window hood replacement is especially encouraged on buildings which historically had them.

### Guideline 3: The original wavy plate glass is important to the character of the window.

- 3A. Glass should be replaced only if broken.
- 3B. Replacement glass should be clear, not tinted.
- 3C. Reflective glass will not be permitted in historic buildings.

### Guideline 4: Original window openings shall be maintained and preserved in size and shape.

- 4A. Openings should not be infilled, reduced or enlarged in size.
- 4B. Original windows should not be removed and replaced with fixed glass.
- 4C. Reopen closed-in openings and replace with windows of appropriate design.



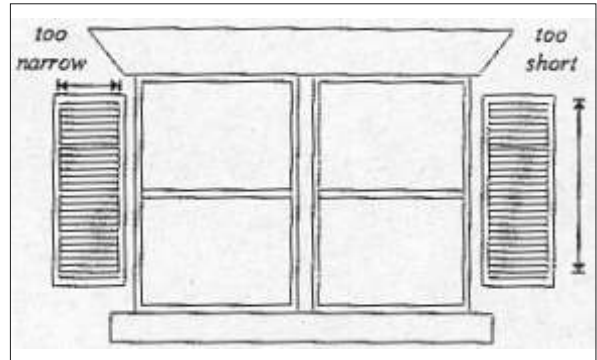
*Original upper story window design should be preserved or restored. Do not brick-in, reduce in size, or replace with fixed or tinted glass.*

# Historic District Design Guidelines

## Windows (continued)

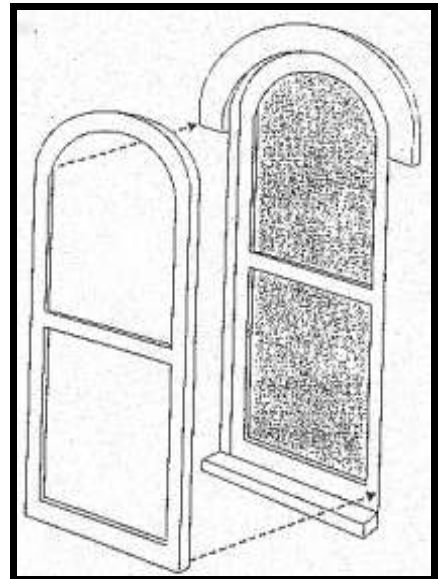
### Guideline 5: Historic shutters should be maintained and preserved.

- 5A. Shutters should not be added to buildings which did not historically have them.
- 5B. Shutters should fit the window and either be operable or appear to be operable.
- 5C. Plastic, vinyl and aluminum shutters will not be permitted.



### Guideline 6: Storm windows and screens should match the shape and design of the window.

- 6A. Storm windows and security windows should not obscure historic windows or their features.
- 6B. Interior storm windows are often the most appropriate solution.
- 6C. Inappropriate shutters, storm windows, and security grills should be removed and replaced with those of a more appropriate design.
- 6D. If modern aluminum storm windows are used, they should be installed inside any historic windows and not visible from the outside. If used outside, use anodized or baked-on aluminum in white or dark bronze in the same dimensions of the window features' style or period.



# Historic District Design Guidelines

## Doors And Entrances

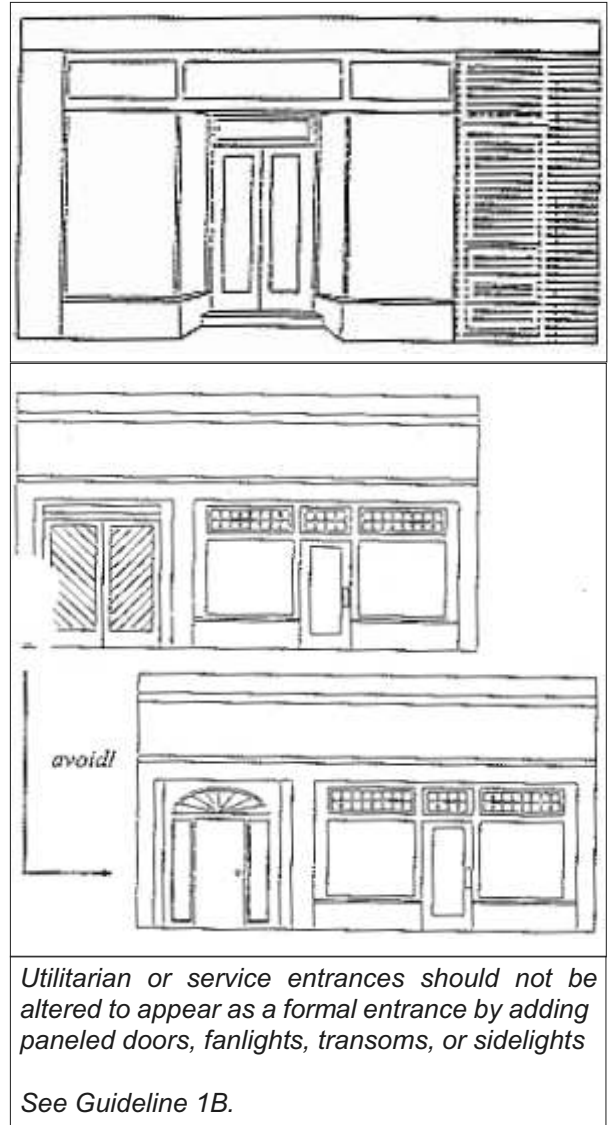
Historic doors are constructed of several components including panels, rails, and stiles. Damaged doors should be repaired by replacing the affected components and restoring the functional components.

### Guideline 1: Existing entrances should be maintained and preserved.

- 1A. Entrances should not be relocated or infilled.
- 1B. New entrances should not be added to the primary elevation.

### Guideline 2: The development of attractive rear entrances, especially those that will provide access to parking will be encouraged.

- 2A. Removal of historic materials for rear entrances is not recommended.
- 2B. Like materials and similar architectural styles should be used to enhance rear or side entrances.
- 2C. The use of courtyards, patios, and landscaping around rear entrances will be allowed.
- 2D. Rear entrances used frequently by the public do not have to replicate the front facades.



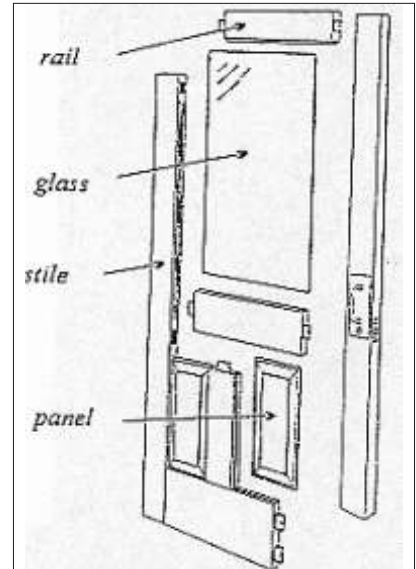
# Historic District Design Guidelines

## Doors And Entrances (continued)

**Guideline 3: Replacement doors should match the historic door in size, shape, material, and panel and glass patterns.**

- 3A. Non-historic decorative doors and surrounding elements should not be added to entrances.
- 3B. Mill new doors to match original doors.
- 3C. Refurbish historic hardware. When necessary, replace with quality brass hardware.

**Guideline 4: Transoms and bulkheads should be preserved in historic buildings.**



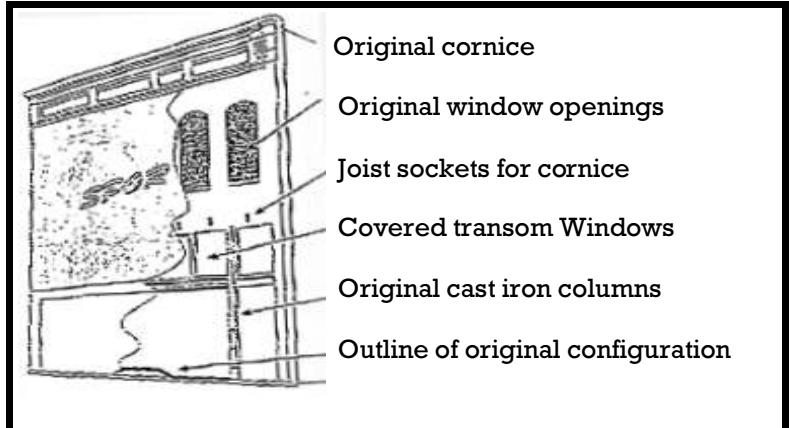
*Replace only deteriorated sections rather than the entire door.*

# Historic District Design Guidelines

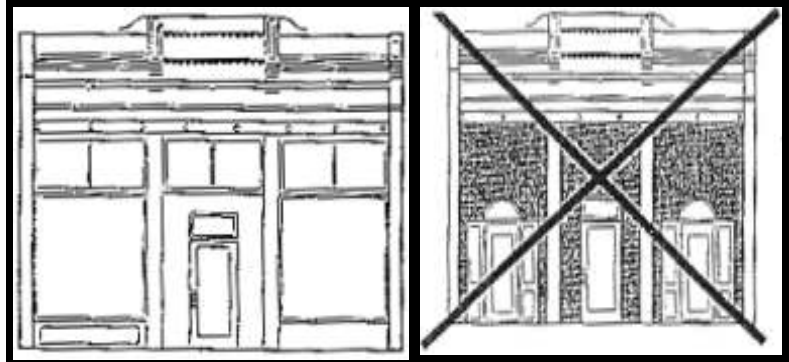
## Storefronts

**Guideline 1: Original storefront configuration and materials should be maintained and preserved.**

- 1A. Storefronts should not be covered or enclosed with non-historic materials such as drivit, sheet metal or concrete panels.



- 1B. Original storefront configurations should be preserved and not infilled or replaced with inappropriate windows and doors.



**Guideline 2: Storefront alterations that have acquired significance in their own right should be maintained and preserved.**

- 2A. Carrara glass is now considered historic and should be retained. If removed, it must be done carefully since it could be used as replacement parts on other downtown buildings.

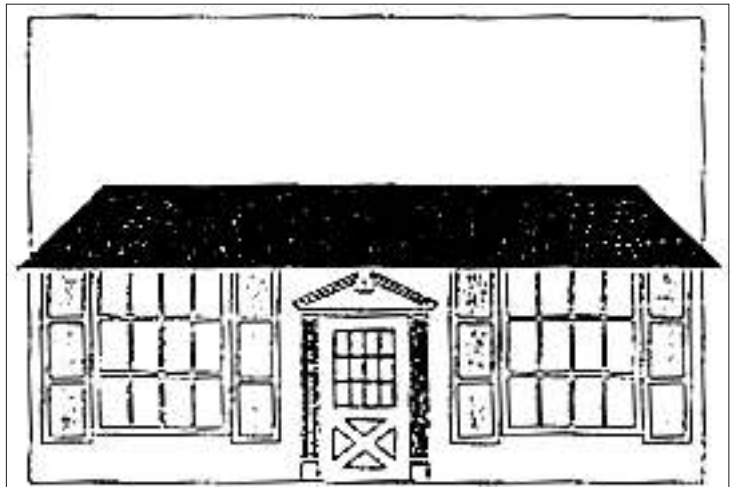
# Historic District Design Guidelines

---

## Storefronts (continued)

### **Guideline 3: Replacement storefronts should follow traditional patterns.**

- 3A. "Theme" storefronts are not appropriate.
- 3B. Re-creation of historic storefronts in non-historic buildings may not be appropriate to the style or age of that building.



*"Theme" storefronts, such as New England Colonial, are not appropriate and should not be used.*

# Historic District Design Guidelines

---

## Architectural Details

Architectural details are used on nearly all commercial buildings to varying degrees. Details were important to create the desired perception for a building and the occupants: quality, service or trust.

**Guideline 1: Historic architectural details (trim, brackets, braces, moldings, lintels, panels, etc.) should be retained and preserved whenever possible.**

- 1A. Repair original architectural details by patching, splicing, consolidating or otherwise reinforcing deteriorated sections.
- 1B. If replacement of an architectural detail is necessary, the replacement should match the original in size, scale, appearance and level of detail.
- 1C. Modern resin materials and cast aluminum may be used to replace architectural details or decorative treatments that have previously been removed.

**Guideline 2: Historic architectural details should not be covered or otherwise obscured.**

- 2A. Vinyl and aluminum siding will not be used on the front street façade of historic buildings or on rear entrances frequently used by the public.

# Historic District Design Guidelines

## Miscellaneous Components - Signs

- Guideline 1:** Contemporary signs should be placed in traditional locations including:
- i) signboard area above the storefront,
  - ii) hanging perpendicular to the façade,
  - iii) in display windows,
  - iv) on awnings,
  - v) or on the side wall of a building.



- 1A. New signs should respect the size, scale and design of the building and should be no larger than is necessary for the purposes of identification.



- 1B. Signs should not be internally lit or flashing.
- 1C. Hanging signs should be at a height that complements the pedestrian character of the area.
- 1D. Contemporary signs should not destroy or alter historic materials or detailing.
- 1E. Contemporary signs may allude to the visual characteristics of signs in the area, but should avoid creating a false historic appearance.
- 1F. Contemporary signs should not cover architectural features or details.



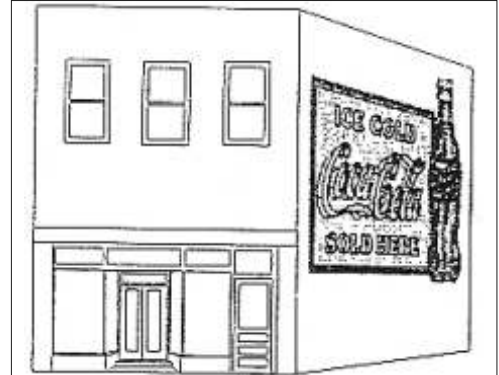
*"Phony-Colonial" signs, such as those with a New England Colonial motif, are generally inappropriate in downtown McMinnville.*

# Historic District Design Guidelines

## Miscellaneous Components - Signs (continued)

### Guideline 2: Historic signs should be preserved and maintained.

- 2A. The faded paint of a “ghost” sign more accurately conveys a sense of the past than if the sign were repainted.
- 2B. Certain signs, significant to McMinnville’s past are now considered landmarks and should be preserved.
  - i). Dr. Pepper “ghost” signs
  - ii). Dinty Moore
  - iii). Park Theater
  - iv). Fraley’s
  - v). Walling Memorial



*“Ghost” signs - fading painted signs - should be retained.*

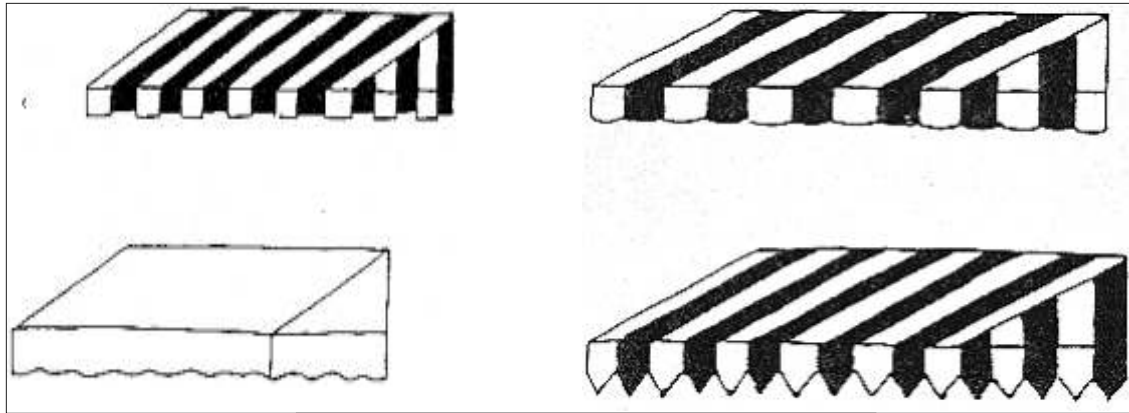
### Guideline 3: All signage must meet city code and sign ordinance specifications.

# Historic District Design Guidelines

## Miscellaneous Components - Awnings

**Guideline 1:** Every effort should be made to maintain and preserve porches, canopies, or awnings that contribute to the historic character of the building.

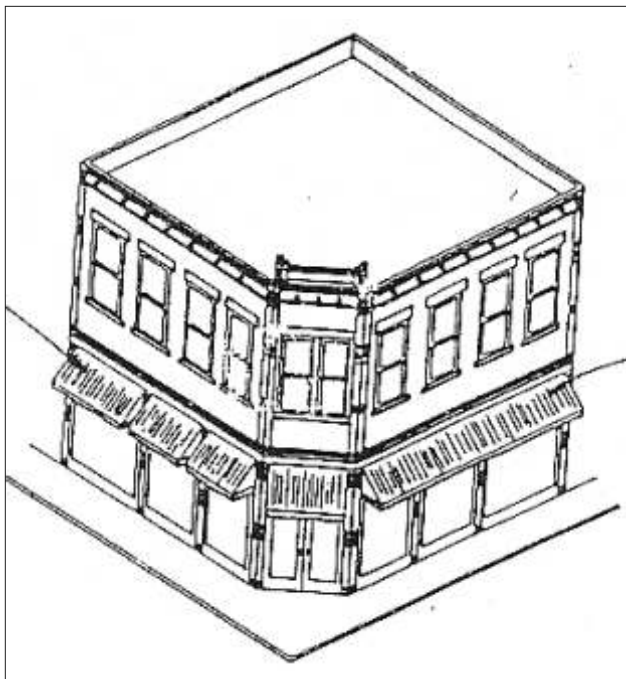
**Guideline 2:** Replacement or addition of awnings will be permitted when compatible with the style of the storefront.



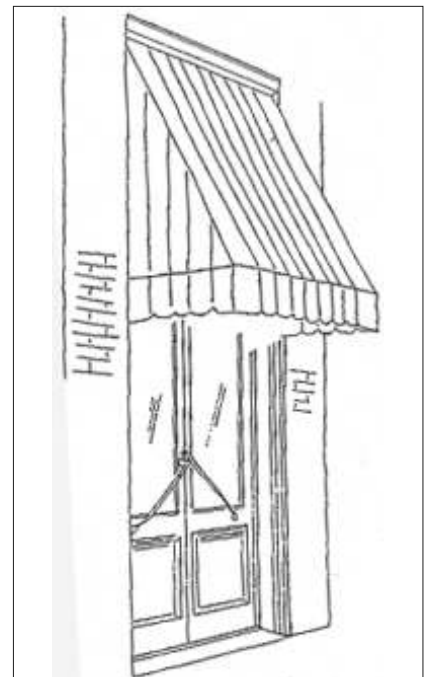
*Appropriate shed-type awnings for storefronts.*

- 2A. Replacement awnings can be retractable or fixed.
- 2B. Replacement awnings should be designed to fit the openings on the storefront (windows and doors) and not obscure decorative details.

**YES!**

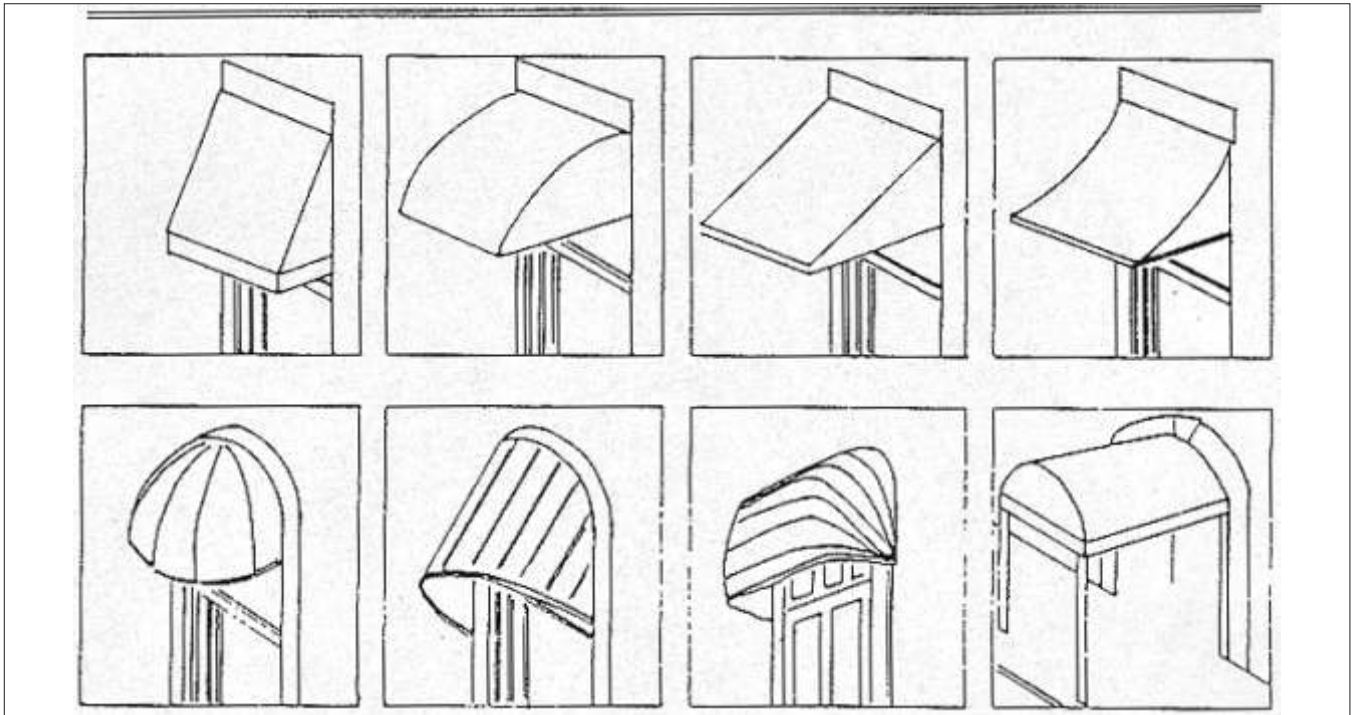


**NO!**



# Historic District Design Guidelines

## Miscellaneous Components - Awnings (continued)



*Awnings should be designed to conform with their window openings whether flat or arched.*

- 2C. Replacement awnings cannot use post or pole support from the sidewalk.
- 2D. The addition of new, continuous flat awning coverings will not be permitted.
- 2E. Color of awnings will not be regulated, but it is recommended that the color should match its surroundings.

**Guideline 3: An Awning Grant is available through the Main Street program - see appendix G.**